



PLANNING & ZONING COMMISSION

Agenda
July 21, 2026
7:00 PM

1. ROLL CALL

2. APPROVAL OF AGENDA

3. APPROVAL OF MINUTES

3A. June 16, 2026 regular meeting.

4. PUBLIC DISCUSSION – Public comment on any item not otherwise listed on the agenda.

5. PUBLIC HEARINGS

5A. An application for a Planned Unit Development (PUD) Amendment by BMAX, Inc. for an 11 building/22 total unit twinhome/duplex development on 10 acres. The property is located at 399x Stebner Road and is located in a R-3, Residential zoning district.

5B. An application for a Preliminary and Final Plat by BMAX, Inc. for a 23 lot and 2 outlot development (11 building/22 total unit twinhome/duplexes) on 10 acres. The property is located at 399x Stebner Road and is located in a R-3, Residential zoning district. APPLICATION WITHDRAWN.

5C. An application by Minnesota Power/Allete for a Wetland Replacement Plan for 1.12 acres of wetland impacts associated with the Arrowhead Substation expansion (stormwater pond and electrical equipment enclosure) located at 5816 Morris Thomas Road and is located in a BLM – Business and Light Manufacturing zoning district.

6. CONTINUING BUSINESS

7. NEW BUSINESS

8. COMMUNICATIONS

Correspondence 2026-349; 2026-352 – 2026-377; 2026-380; 2026-283 – 2026-387; 2026-389 – 2026-396; 2026-398 – 2026-401; and 2026-403 – 2026-406

9. COMMISSION MEMBER REPORTS

Joe Peterson
Corey Kolquist
Beth Wentzlaff
Kevin Hagen
Matthew Fournier
John Stauber
Amanda Radzak
Ryan Johnson

PLANNING & ZONING COMMISSION

July 21, 2026

ADJOURN



PLANNING & ZONING COMMISSION

June 16, 2026 Meeting Summary

7:00 PM

1. ROLL CALL

Members Present: Joe Peterson; Beth Wentzlaff; John Stauber; Kevin Hagen; Matthew Fournier; and Amanda Radzak

Members Absent: Corey Kolquist and Ryan Johnson

Others Present: Eric Johnson, Community Development Director; Patty Bastian and Tom Peterson, 5853 W Arrowhead Rd.

2. APPROVAL OF AGENDA

Motion made by Matthew Fournier to approve the June 16, 2026 agenda as presented. Seconded by John Stauber. Motion carried 5-0.

3. APPROVAL OF MINUTES

Motion made by Kevin Hagen to approve the May 19, 2026 minutes as presented. Seconded by Amanda Radzak. Motion carried 5-0.

4. PUBLIC DISCUSSION

None.

5. PUBLIC HEARING

5A. An application by 1 LLC for a Special Use Permit for a 103-unit, 4 story apartment building on a 6.2-acre site located at 4818 Maple Grove Road. The property is located in an HM – Hermantown Marketplace zoning district.

Eric Johnson, Community Development Director, presented the application of 1 LLC, who is proposing the Hermantown Apartment Project on 6.2 acres of a 30-acre property. The development includes a 4-story, 103-unit apartment building with studio, one-, and two-bedroom units ranging from 418 to 1,026 square feet. The 45-foot-tall building has an approximate footprint of 19,370 square feet and includes 206 surface parking spaces, meeting City requirements.

The site is currently undeveloped and contains several wetlands, including a large wetland along the southern portion of the project area. Access is proposed from Maple Grove Road via the existing Stebner Park driveway until additional roads are developed. The project also includes a 10-foot-wide paved trail connecting the apartment building to the City's trail system.

At the May 19, 2026 Planning and Zoning Commission public hearing, questions were raised about using the existing Stebner Park driveway for project access and the timeline for converting it to a public roadway. City staff noted that roadway plans are 80% complete, with construction expected shortly after the apartment project is finished to avoid damage from construction traffic. The City will coordinate access to both the development and nearby soccer fields as roadway plans are

finalized, and the applicant has also begun coordinating with the Hermantown Youth Soccer Association.

Amanda Radzak asked about potential traffic impacts from the development.

Eric responded that St. Louis County anticipates future traffic improvements, but none are planned at this time. He also noted that City staff are evaluating additional access points to serve the area as part of the broader Hermantown Uptown development.

When asked about the discrepancy in the site acreage, Eric clarified that the correct project area is 6.2 acres, not 5.8 acres.

Motion made by John Stauber to approve the application by 1 LLC for a Special Use Permit for a 103-unit, 4 story apartment building on a 6.2-acre site located at 4818 Maple Grove Road. The property is located in an HM – Hermantown Marketplace zoning district. Seconded by Beth Wentzlaff. Motion carried. 5-0.

5B. An application by Patty Bastian and Tom Peterson for a Special Use Permit associated with greenhouse sales on a 10-acre property located at 5853 W Arrowhead Road. The property is located in a S-1, Suburban zoning district.

Eric presented the application of Patty Bastian and Tom Peterson who are seeking a Special Use Permit to operate a greenhouse and nursery on their property in the S-1 Suburban District. The proposal includes replacing an existing pole building with a 30' x 60' greenhouse, regrading the site, using the existing gravel driveway for 3–5 parking spaces, and adding landscaping. The existing home will remain a residence.

The applicants currently host small floral workshops and operate a CSA program. The greenhouse would expand these activities, opening to the public 2–3 days per week from late spring through early fall, with hours of 9:00 a.m. to 5:00 p.m. The rural property is surrounded by neighboring residences, with the nearest home approximately 300 feet from the proposed greenhouse.

A couple of residents have expressed concerns about potential traffic and visitor volume associated with the proposed greenhouse. Staff noted that the Special Use Permit includes operational conditions, and if those conditions are exceeded, staff would work with the applicants to address and resolve any issues. Failure to comply could result in the revocation of the Special Use Permit.

Motion made by Kevin Hagen to approve the application by Patty Bastian and Tom Peterson for a Special Use Permit associated with greenhouse sales on a 10-acre property located at 5853 W Arrowhead Road. The property is located in a S-1, Suburban zoning district. Seconded by John Stauber. Motion carried. 5-0.

6. CONTINUING BUSINESS

Mentioned that staff continues to focus on two ordinances, one of them being accessory structures and working on the shoreland ordinance.

7. NEW BUSINESS

None.

8. COMMUNICATIONS

Correspondence 2026-328 – 2026-329; 2026-338; 2026-340 – 2026-342; and 2026-344.

9. COMMISSION MEMBER REPORTS

Joe Peterson – None
Corey Kolquist – Absent
Beth Wentzlaff – None
Kevin Hagen – None
Matthew Fournier – None
John Stauber – None
Amanda Radzak – None
Ryan Johnson – Absent

ADJOURN

Motion made by Amanda Radzak to adjourn the meeting. Seconded by Kevin Hagen. Meeting adjourned at 7:26 pm.

Officiated by:

Transcribed by:

Joe Peterson, Chairman

Mary Melde, Administrative Assistant



Hermantown Planning Commission

Meeting Date: July 21, 2026

Agenda Item: 5A

5A. Stebner Road – Planned Unit Development Amendment

<u>Applicant:</u>	BMAX, Inc.
<u>Case No.:</u>	2024-01-PUD
<u>Staff Contact:</u>	Eric Johnson, Community Development Director
<u>Request:</u>	Approval of a Planned Unit Development (PUD) Amendment

DESCRIPTION OF REQUEST:

Applicant (BMAX, Inc.) is requesting approval of an amendment to the Final Planned Unit Development (PUD) for construction of a 11 twinhome (22 units total) on a 10 acre parcel located at 399x Stebner Road. The property is located in an R-3 zoning district.

SITE INFORMATION:

Parcel Size:	10 acres
Legal Access:	Stebner Road
Wetlands:	Yes, delineation approved in 2019
Existing Zoning:	R-3, Residential
Airport Overlay:	None
Shoreland Overlay:	None
Comprehensive Plan:	Suburban

Development Details

In 2024, the Applicant (BMAX, Inc.) was approved for a 10 twinhome buildings (20 units total) on an existing 10 acre lot with access to Stebner Road. The approved development consisted of a 1050' feet of public street with a 66' right of way; a 5' wide sidewalk on the north side of the street; a 4,800 square foot accessory/storage building and two pickleball courts.

The Applicant has been constructing the project over the last two years and is now requesting that the PUD be amended in order to add one additional twinhome (2 units) to the previously approved project bringing the total number of twinhomes to 11 (22 units total). In order to accomplish this, the Applicant is proposing to shift the previously approved garage area and pickleball courts to the west approximately 80 feet. In addition, the previously proposed/approved right of way extension to Peyton Acres has been removed as the connection to Peyton Acres is no longer viable due to the construction of homes in the area of a potential road connection.

PUD Process:

The City's zoning regulations governing PUD's require that each PUD obtain preliminary and final approval. The City's Planned Unit Development ordinance states that PUDs over 4 units/acre and/or 5 acres in size are required to make separate Preliminary and Final PUD submissions.

The PUD review and approval process include a public hearing by the Planning Commission and a recommendation to the City Council. A PUD order will be issued by the City setting project specific development standards. Following completion of the development contract the applicant will be granted final Zoning approval and can begin construction, pending approval of the associated building permits.

Per Section 1105 of the Planned Unit Development section of the Zoning Ordinance, it requires that a PUD must provide public benefits to the surrounding neighborhood and to the city above and beyond what can be reasonably achieved by application of the zoning provisions applicable to the underlying zoning district. The nature and scale of public benefit shall be determined by the City and include, but not be limited to:

- 1.1 Preservation and enhancement of natural systems and resources, topography, vegetation, and other natural features. – This project proposes to preserve 3.4 acres of existing wetland on the property. The road design and building placement minimizes wetland impacts required for the project.
- 1.2 Provision of a variety of housing and community types. – The project proposes twinhome buildings which there is a general shortage of within the City.
- 1.3 Provision of recreational amenities including trails and parks. – The Project proposes two pickleball courts for the residents of the proposed community. There is also the ability to provide soft surface trails along the wetland areas for residents to walk on in addition to the proposed 5' foot wide sidewalk.

The overall project had gone through the two phase preliminary and final PUD process with the Hermantown City Council approving the Final PUD at their June 3, 2024 meeting.

Zoning Analysis:

The property is zoned R-3, Residential. The applicant has applied for a Planned Unit Development (PUD) for the property. A PUD is a permitted use in an R-3 zone district. Section 11 of the zoning ordinance explains that: 'A PUD is intended to encourage a more efficient and creative use of land and development, more efficient and effective use of streets, utilities and public services; protection of natural resources; and more efficient and effective provision of recreational, public and open space than can be achieved through conventional development procedures.

The purpose of the PUD amendment request is to allow for the creation of 11 twinhome buildings for a total of 22 units.

Setbacks

City Code allows a PUD to have standards that meet the City's goals for each proposed development. These standards include building height, density, roadway widths and setbacks. The proposed project amendment is for 11 twinhome buildings (22 units total). The applicant is proposing a minimum 7' foot

side yard setback, a 20' foot front yard setback and a 40' foot rear yard setback. The PUD allows for the setting of site specific setbacks.

Table 1. R-3 Residential Requirements	R-3 Requirement	Proposed Twinhome
Minimum lot area	½ acre (2 units/acre)	6,520 square feet minimum
Minimum lot width (at setback line)	100 feet	50 foot minimum
Minimum front yard	50 feet from public ROW	20' from public ROW
Minimum side yard	10 feet, 25 feet aggregate	7 feet minimum, 14 feet aggregate
Minimum rear yard	40 feet	40' feet minimum
Roadway ROW width	66 feet	66' Public ROW – 28' with curb, gutter and 5' sidewalk

No changes to the previously approved lot dimensions or setbacks are proposed as part of the PUD amendment.

Plat

The Applicant is proposing to divide the property into 12 lots and 2 outlots. The applicant will need to submit a preliminary and final plat prepared by a registered land surveyor for the project.

The City requires the dedication of Outlot A (stormwater pond) to the City for their ownership and future maintenance of the pond.

The City requires the dedication of Outlot B (wetlands) to the City for the purpose of maintaining a connection point to City owned land to the east of this development.

Utilities

The Applicant has engaged a civil engineer to revise the utility plans in order to create an additional connection to the new proposed twinhome. The Applicant will coordinate work with the Hermantown Public Works Department as well as the City Engineer for this new connection.

The Applicant has installed the sanitary sewer line main from from Stebner Road.

The water main extension will connect from Stebner Road to provide water service to each building/lot. This work has already been completed as well. A new connection to the proposed twinhome will need to be coordinated with the Hermantown Public Works Department as well as the City Engineer.

The applicant has submitted construction documents for review and approval by the City Engineer. Upon City acceptance, all utilities will be turned over to the City of Hermantown.

Stormwater

The Applicant is proposing a detention pond located north of the entry road by Stebner Road to accommodate the stormwater associated with the project. The applicant has submitted final construction plans for the development which include an erosion and sediment control plan for construction and post-construction control of run-off. Bio-rolls, silt fencing and other Best Management Practices will be required in order to control runoff during construction.

The stormwater pond is within the proposed outlot for the plat and will be turned over to the City upon completion and acceptance by the City Engineer.

The Applicant's engineer has submitted updated stormwater calculations reflecting the increased impervious area associated with the additional twinhome unit. The City Engineer has reviewed these plans and has indicated that the updated stormwater system will accommodate the additional overall site impervious area.

Access

The project is accessed from Stebner Road via a public street and right of way which terminates in a cul-de-sac. This road would be a public, 28 foot wide asphalt roadway with curb and gutter with a 5' foot width sidewalk along north side of the road.

The City is requiring a 66' right of way connection from the proposed cul-de-sac to the property to the east. The proposed site plan reflects this right of way connection.

The Applicant will be fully responsible to design and construct the proposed roads within the project to City standards. Upon completion and inspection by the City Engineer, the City will accept the road and maintain it from after time of acceptance.

Wetlands

A wetland delineation was performed in the summer of 2019 in association with the Peyton Acres development. The plan envisions wetland impacts associated with the road construction, 11 buildings, garage area, 1 pond and the pickleball courts. The applicant received approval from the Technical Evaluation Panel (TEP) for these impacts.

The proposed additional twinhome building will not result in an increase in wetland impacts for the overall project.

Park Dedication Fees

The Applicant will be required to pay park dedication fees consistent with the requirements of the City Zoning Ordinance. A park dedication fee of \$1,100 per unit will be paid at the time of final PUD approval. Bedroom fees at the rate of \$150/bedroom will be paid at the time of building permit.

Summary

Staff recommends approval of the PUD Amendment based on the findings of this report and the following conditions

1. The proposed PUD meets the intent of the R-3, Residential Zoning District, Chapter 11 – Planned Unit Developments, and the overall goals and policies of the Zoning Ordinance.

2. The proposed development meets the Comprehensive Plan for residential development and standards of a Planned Unit Development by providing public benefit through enhanced and coordinated development design and a greater variety of housing types in the community.
3. The Planned Unit Development is hereby approved is hereby expressly subject to the following conditions:
 - 3.1 That the Project will be constructed as described in the plans accompanying the Application and the conditions contained herein.
 - 3.2 The Zoning Administrator of the City of Hermantown shall be notified at least five (5) days in advance of the commencement of the work authorized hereunder and shall be notified of its completion within five (5) days thereafter.
 - 3.3 No change shall be made in the Project without written permission being previously obtained from the City of Hermantown.
 - 3.4 Applicant shall grant access to the site at all reasonable times during and after construction to authorized representatives of the City of Hermantown for inspection of the Project to see that the terms of this permit are met.
 - 3.5 Applicant is initially and continually in compliance with all of the ordinances and regulations of the City of Hermantown.
 - 3.6 Trees and brush cannot be burned on the property, but may be chipped and shredded.
 - 3.7 An MPCA Stormwater Permit and erosion control measures must be in place prior to the start of operations.
 - 3.8 All utility line easements shall be observed and any encroachment into the utility right-of-way shall only be permitted with the written approval of the utility.
 - 3.9 The Applicant shall take measures to control erosion that has the potential to damage adjacent land, and control sedimentation that has the potential to leave the site.
- 4 Dimensional requirements of lots, setbacks, and rights-of-way shall be according to the attached site plan and table 1.

Table 1. R-3 Residential Requirements	R-3 Requirement	Proposed Twinhome
Minimum lot area	½ acre (2 units/acre)	6,520 square feet minimum
Minimum lot width (at setback line)	100 feet	50 foot minimum

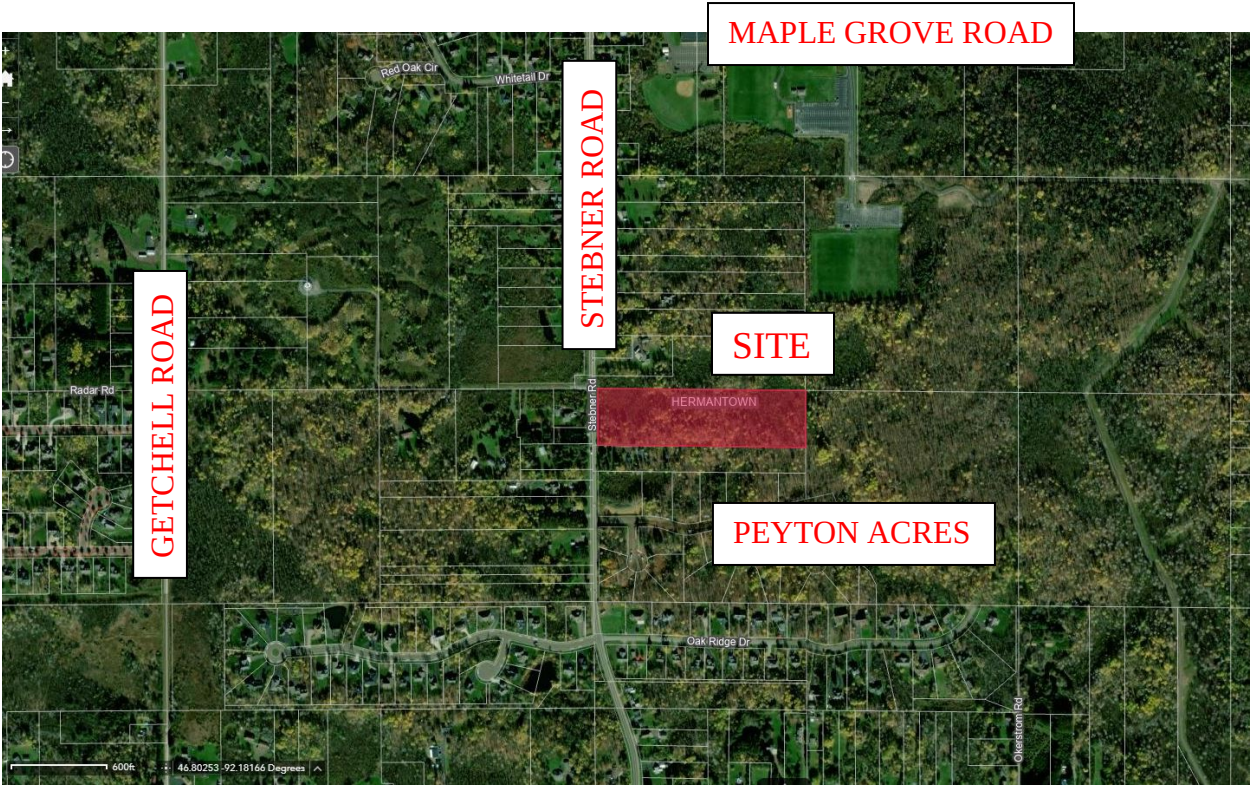
Minimum front yard	50 feet from public ROW	20' from public ROW
Minimum side yard	10 feet, 25 feet aggregate	7 feet minimum, 14 feet aggregate
Minimum rear yard	40 feet	40' feet minimum
Roadway ROW width	66 feet	66' Public ROW – 28' with curb, gutter and 5' sidewalk

- 5 Applicant to submit final construction documents (water, storm sewer, sanitary sewer, roadway, etc.) according to City standards and coordinated with the City Engineer. Final PUD Order and Stormwater Certificate will be issued after review and approval of documents by the City Engineer.
- 6 Installation of water and sanitary sewer shall require the Property Owner to enter into an agreement with the City governing the terms of such work. All utility plans shall be approved by the City Engineer. The City/Developer agreement shall specify the amount of a financial guarantee to be held by the City from the time of commencement of work until such a time as the City is prepared to accept as complete the new public infrastructure. All drainage and utility easements shall have associated easements. The Property Owner shall enter into a Development Agreement with the City for all public utilities.
- 7 The Applicant has entered into a development agreement for the infrastructure improvements associated with the project.
- 8 Dedication of Outlot A (stormwater pond) to the City.
- 9 Dedication of Outlot B (wetlands) to the City for the purpose of maintaining a connection point to City owned land to the east of this development.
- 10 The Applicant shall sign a consent form assenting to all conditions of this approval.
- 11 The Applicant shall pay an administrative fine of \$750 per violation of any condition of this approval.

ATTACHMENTS:

- Location Map
- 2024 Site Plan
- 2026 Site Plan
- 2024 Grading Plan
- 2026 Grading Plan
- Proposed Twinhome Building Example

Location Map



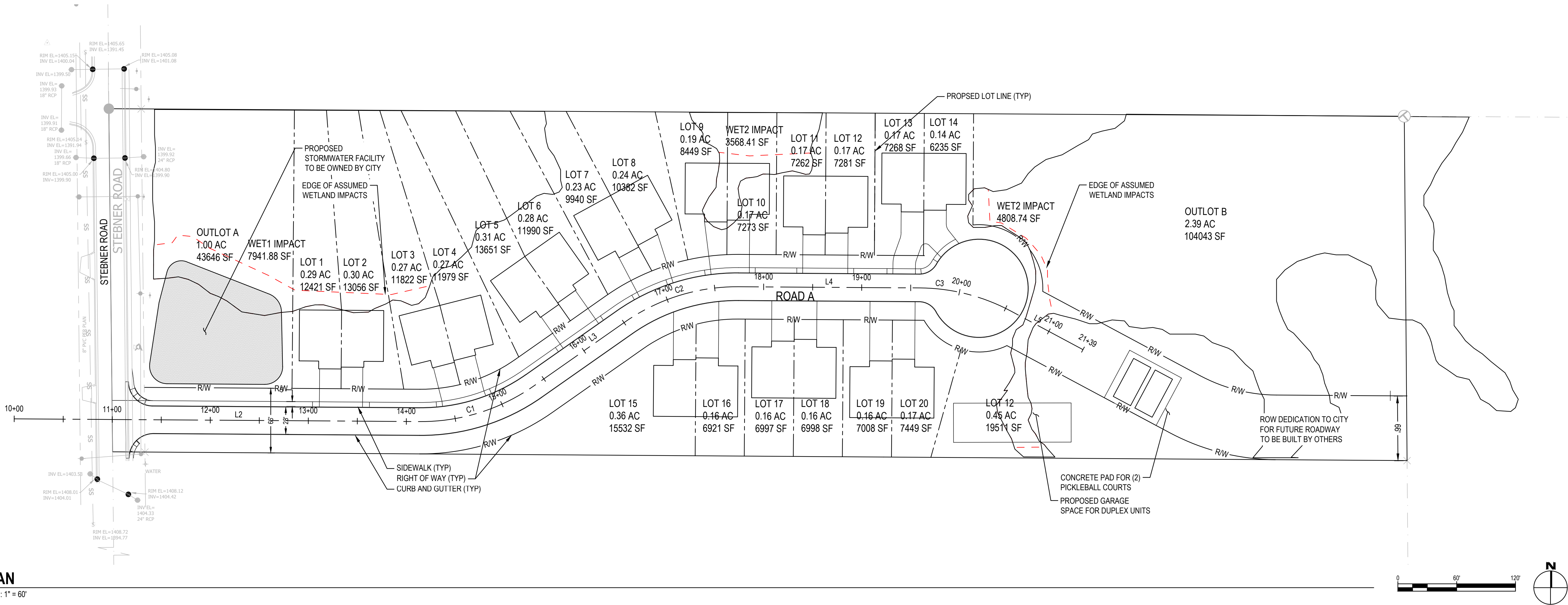
GENERAL SHEET NOTES:

EXISTING GRADES ARE FROM LIDAR DATA

PROPOSED GRADES ARE PRELIMINARY UNTIL PARCEL IS SURVEYED. CHANGES TO PROPOSED GRADING, STORMWATER POND DESIGN, AND/OR CUL-DE-SAC PLACEMENT MAY CHANGE ONCE PROPOSED GRADING IS FINALIZED.

CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WINDSOR ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



PLAN

SCALE: 1" = 60'



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS BEFORE YOU DIG.
CAUTION: UTILITY INFORMATION IS APPROXIMATE.
VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

Revisions:

LINE IS 1" ON FULL
SCALE DRAWING



WINDSOR
ENGINEERS

Ridgefield, WA
Duluth + Minneapolis, MN
www.windsorengineers.com

Copyright 2024 By Windsor Engineers, LLC
All Rights Reserved.

I HEREBY CERTIFY THAT I
PREPARED BY ME OR UNDER MY
SUPERVISION AND I AM A DULY
REGISTERED ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.

DATE: 4/22
REG#: 61158

JOHN F. DOUGHERTY, P.E.

STEBNER PLANNED UNIT
DEVELOPMENT

HERMANTOWN, MN

FINAL PUD APPLICATION

Project No: 23050

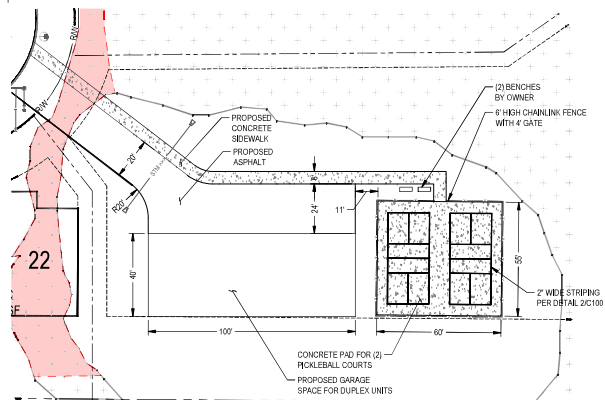
Issue Date: 4/3/2024

PRELIMINARY PLAT

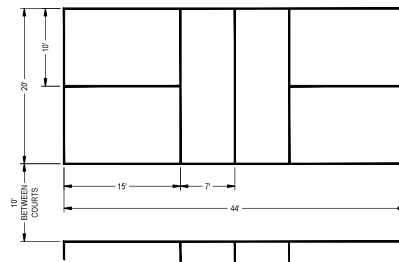
C101

Project Manager: EAS
Drawn by: TAW
Checked by: JED

ISSUED FOR FINAL PUD APPLICATION



1 ENLARGED PLAN
SCALE: 1"=30'



2 COURT STRIPING
SCALE: 1"=10'

GENERAL SHEET NOTES:

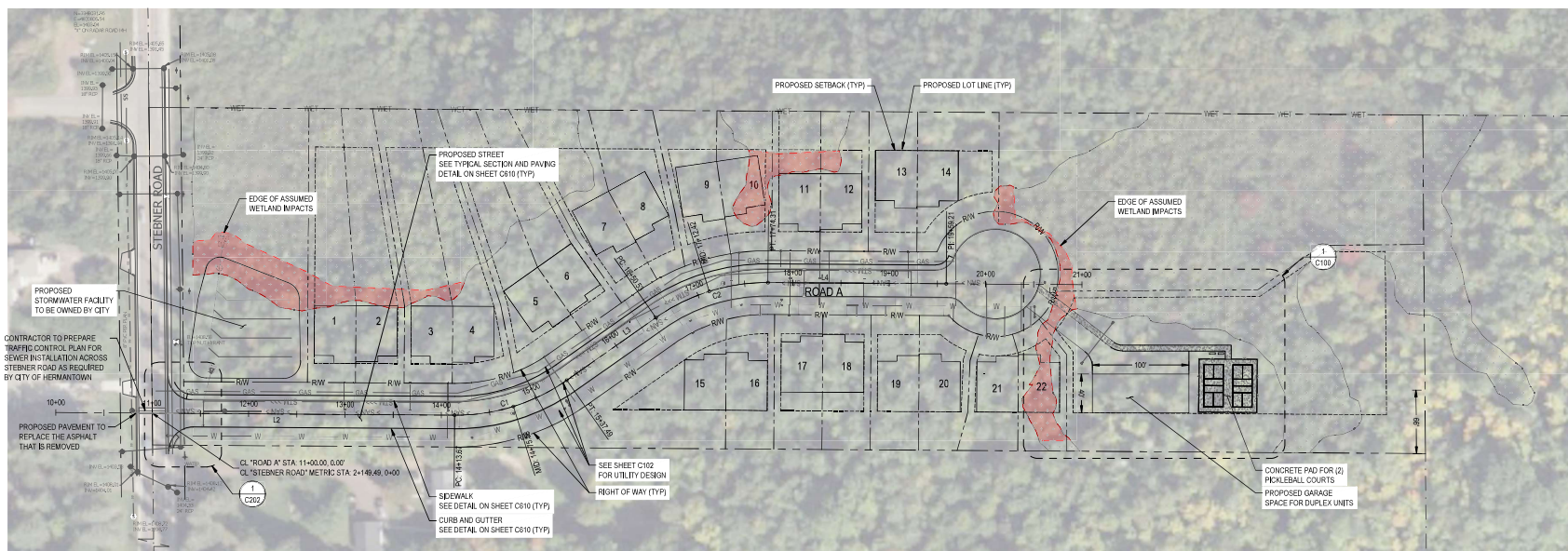
EXISTING GRADES ARE FROM LIDAR DATA

CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WINDSOR ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNERSHIP AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.

ROAD A

NUMBER	LENGTH	RADIUS	LINE/CHORD DIRECTION	START POINT	END POINT
L2	413.865		S88° 30' 40.58"E	4820772.82, 3347648.35	4821186.57, 3347645.44
C1	123.825	200.000	N72° 30' 07.48"E	4821186.57, 3347645.44	4821302.89, 3347681.77
L3	113.037		N54° 54' 55.55"E	4821302.89, 3347681.77	4821395.39, 3347746.75
C2	123.787	200.000	N72° 38' 47.74"E	4821395.39, 3347746.75	4821511.66, 3347783.08
L4	154.893		S88° 37' 30.06"E	4821511.66, 3347783.08	4821696.55, 3347781.86
L5	140.792		S88° 37' 20.08"E	4821696.55, 3347781.86	4821837.34, 3347780.93



1 C100
SCALE: 1"=60'



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS BEFORE YOU DIG.
SEE UTILITY INFORMATION APPROXIMATE.
VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

Revisions:

LINE IS 1" ON FULL
SCALE DRAWING



Ridgefield, WA
Duluth + Minneapolis, MN
www.windsorengineers.com

Copyright 2015 By Windsor Engineers, LLC
All Rights Reserved.

I HEREBY CERTIFY THAT THIS PLAN WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
REGISTERED ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.

DATE: 5/13/2026

REGISTRATION NO: 61158

SIGNED:

JOHN F. DOUGHERTY, P.E.

STEBNER PLANNED UNIT
DEVELOPMENT
HERMANTOWN, MN

CONSTRUCTION SET

Project No: 23050

Issue Date: 5/13/2026

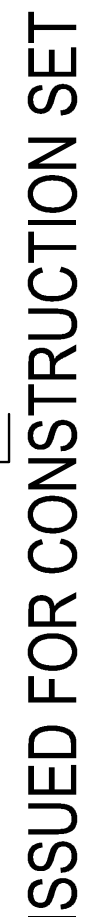
SITE AND HORIZONTAL CONTROL PLAN

C100

Project Manager: LEAS
Drawn by: TAY
Checked by: JED

ISSUED FOR CONSTRUCTION SET

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WINDSOR ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



GENERAL SHEET NOTES:

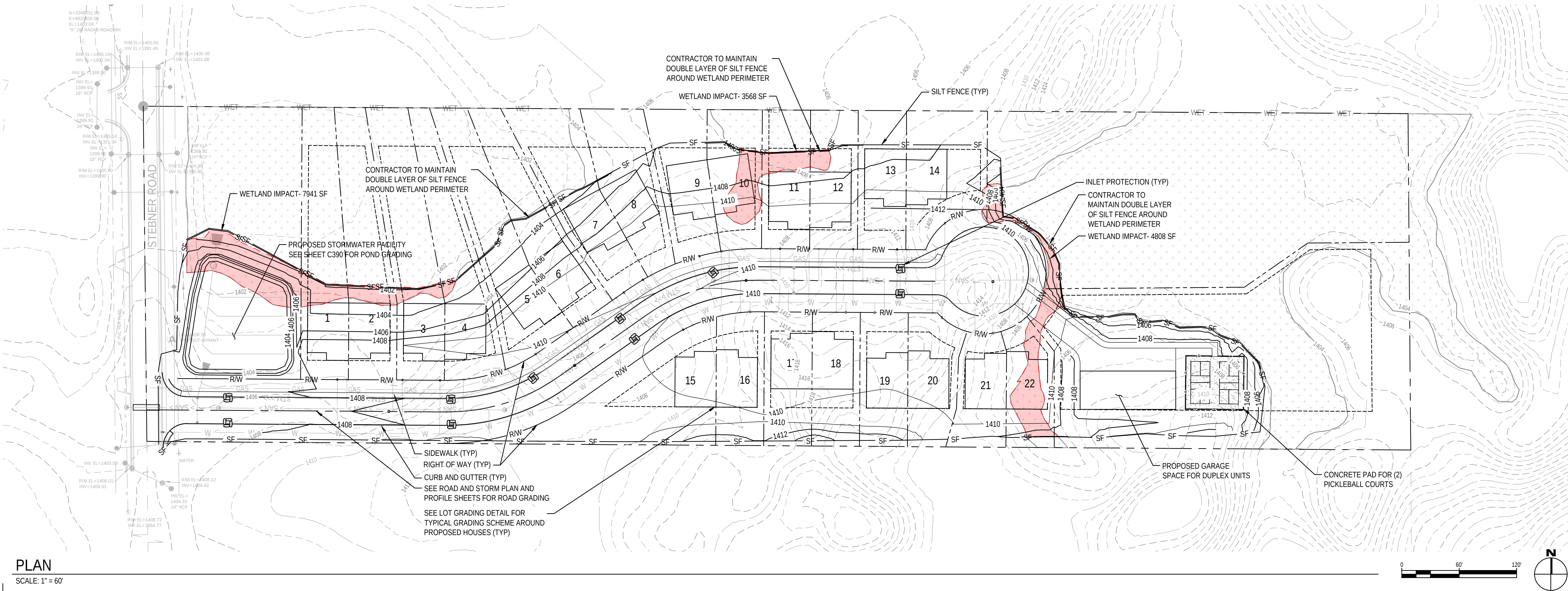
EXISTING GRADES ARE FROM LIDAR DATA

PROPOSED GRADES ARE PRELIMINARY UNTIL PARCEL IS SURVEYED. CHANGES TO PROPOSED GRADING, STORMWATER POND DESIGN, AND/OR CUL-DE-SAC PLACEMENT MAY CHANGE ONCE PROPOSED GRADING IS FINALIZED.

CONTRACTOR TO FINE GRADE AROUND HOMES PER DETAIL

CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WINDSOR ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



PLAN

SCALE: 1" = 60'



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS BEFORE YOU DIG.
CAUTION: UTILITY INFORMATION IS APPROXIMATE.
VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

Revisions:

LINE IS 1" ON FULL
SCALE DRAWING



**WINDSOR
ENGINEERS**

Ridgefield, WA
Duluth + Minneapolis, MN
www.windsorengineers.com

Copyright 2025 By Windsor Engineers, LLC
All Rights Reserved.

I HEREBY CERTIFY THAT THIS PLAN WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
REGISTERED ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.

DATE: 5/13/2026

REGISTRATION NO: 61158

SIGNED: JOHN F. DOUGHERTY, P.E.

STEBNER PLANNED UNIT
DEVELOPMENT
HERMANTOWN, MN
CONSTRUCTION SET
Project No: 23050
Issue Date: 5/13/2026

EROSION CONTROL AND GRADING PLAN

C103

Project Manager: EAS
Drawn by: TAW
Checked by: JED

ISSUED FOR CONSTRUCTION SET

Twinhome Example



5C. 5816 Morris Thomas Road - Arrowhead Substation Wetland Replacement Plan

Applicant: Minnesota Power/Allete
Case No.: 2025-67-WRP
Staff Contact: Eric Johnson, Community Development Director
Request: Approval of a Wetland Replacement Plan

DESCRIPTION OF REQUEST:

Applicant (Minnesota Power/Allete) is requesting approval of a Wetland Replacement Plan (WRP) associated with the expansion and updating of infrastructure at the Arrowhead Substation. The proposed project is located in the northeast quadrant of Morris Thomas Road and Solway Road and is in a Business and Light Manufacturing (BLM) zoning district.

SITE INFORMATION: +/- 168 acres
Legal Access: 5816 Morris Thomas Road
Wetlands: Yes – been delineated
Existing Zoning: BLM
Airport Overlay: N/A
Shoreland Overlay: No
Comprehensive Plan: Business and Light Manufacturing

Development Details

The Applicant is proposing expansion and updating of infrastructure at the Arrowhead Substation. The proposed work is for the replacement of an existing Electrical Equipment Enclosure (EEE) and includes site grading and filling, expansion of the substation footprint by 1.2 acres. The proposed expansion will improve system reliability and update associated infrastructure to maintain compliance with applicable industry reliability standards.

In addition, the proposed project includes the installation of an additional 546 feet of security fencing, and construction of a new stormwater pond. The stormwater pond will be constructed adjacent to the substation to provide permanent stormwater treatment for the expanded facility, in accordance with the Minnesota Pollution Control Agency (MPCA) Construction Stormwater General Permit.

The resulting proposed project will impact 1.12 acres of wetland located between the existing substation and the entry drive into the facility.

The Hermantown Technical Evaluation Panel (TEP) met on October 27, 2025 to review the wetland delineation associated with the project. Delineation comments were provided to the Applicant's consultant in the field with the consultant providing the information to the TEP in March 2026 along with an updated boundary and report. This information was reviewed and approved by the TEP at its April 6, 2026 meeting.

City Wetland Impact Fee

The City Council has adopted a Wetland Impact Fee to be charged for any wetlands impacted within the City. The rate is \$0.15 per square foot of wetlands impacted, times the wetland replacement ratio required by the TEP. In this case, the ratio is for a 1:1 replacement, so the wetland fee is $\$0.15 * 48,787.20$. The total fee is \$7,318.08, due prior to the start of site work.

Summary

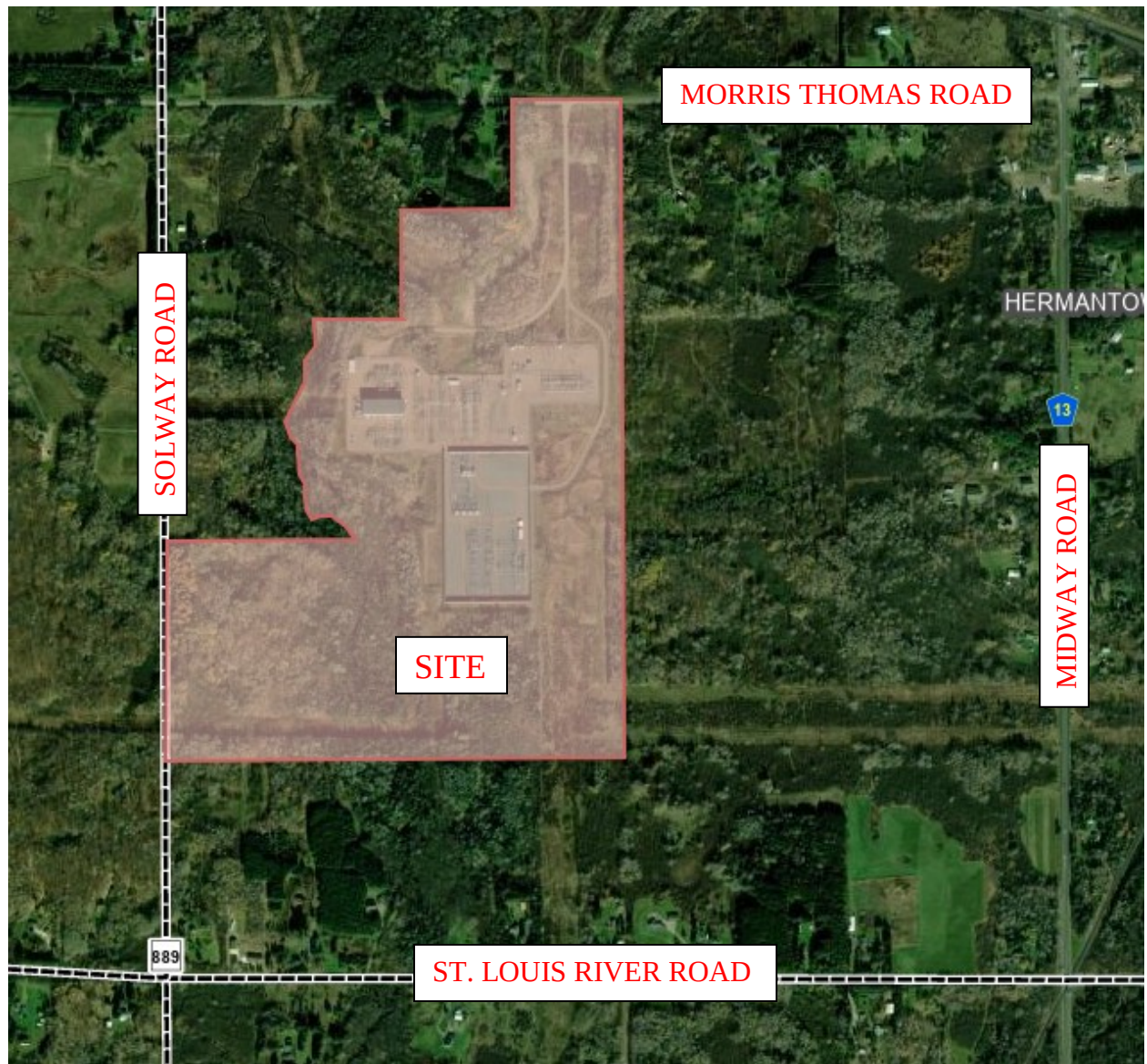
Staff recommends approval of the Wetland Replacement Plan with the following conditions:

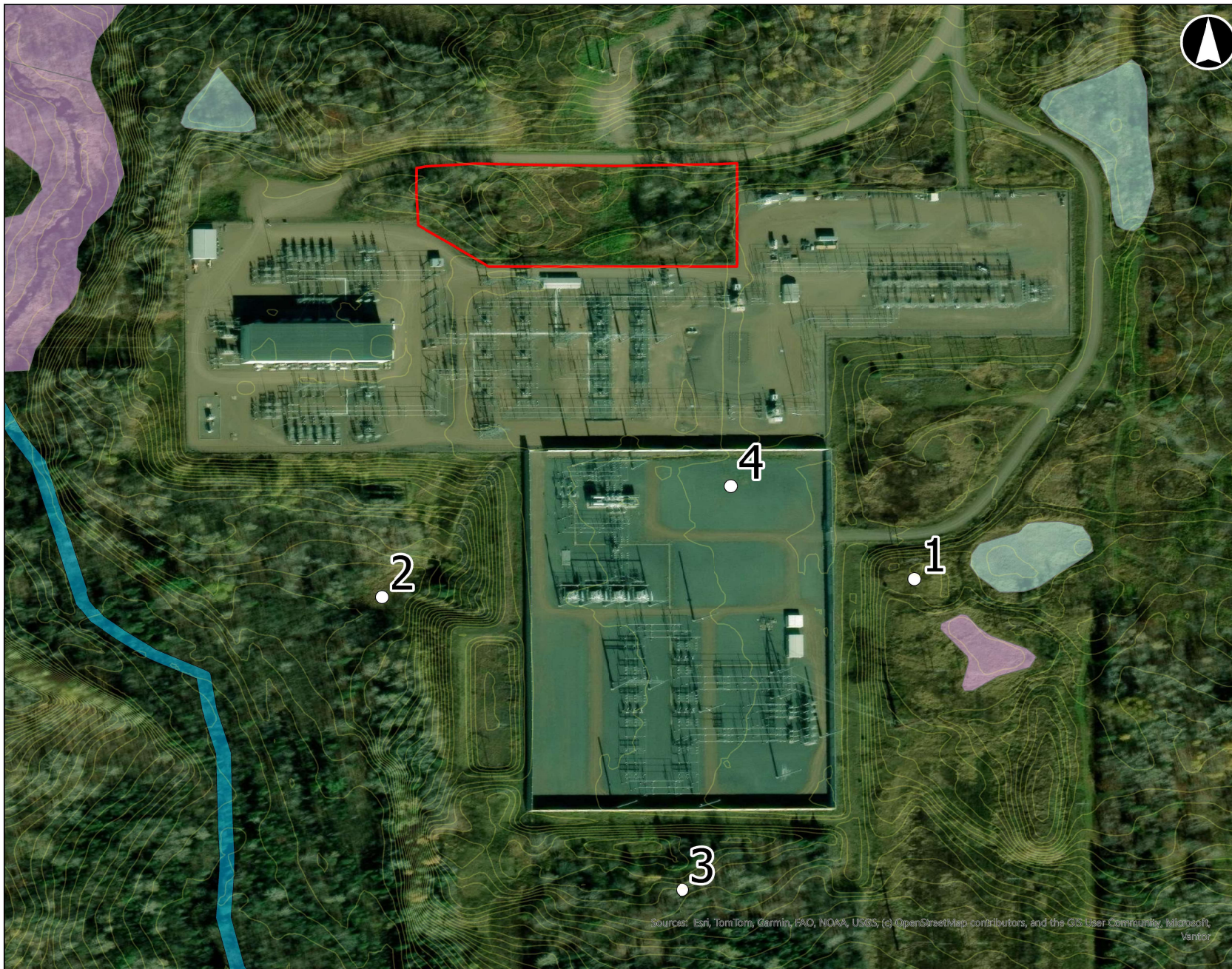
1. Final approval of the wetland impacts by the Hermantown Technical Evaluation Panel.
2. Purchase agreement for wetland credits in Bank Service Area 1.
3. Payment of City Wetland Fee of \$7,318.08 due prior to the start of site work.
4. The applicant shall sign a consent form assenting to all conditions of this approval.
5. The applicant shall pay an administrative fine of \$750 per violation of any condition of this approval.

ATTACHMENTS:

- Location Map
- Project Area Map
- Expansion Map

Location Map





0 65 130 260 390 520 Feet

Scale 1:2,761

1 inch equals 230 feet

2ft Contour

○ Alternative Locations

□ Project Area Boundaries

Wetlands

□ Freshwater Emergent Wetland

□ Freshwater Forested/Shrub Wetland

□ Freshwater Pond

□ Lake

□ Other

□ Riverine

Arrowhead Substation WRP Feasibility Map

Wetland Replacement Plan
Minnesota Power
Hermantown, MN
St. Louis County

Figure 6

Map Center Coordinates 15T 553874 5180130

Spatial Reference GCS North American 1983 HARN

Project Number 23329

Date Created 4/9/2026

Author M Kouffeld, Senior Ecologist

Data Source

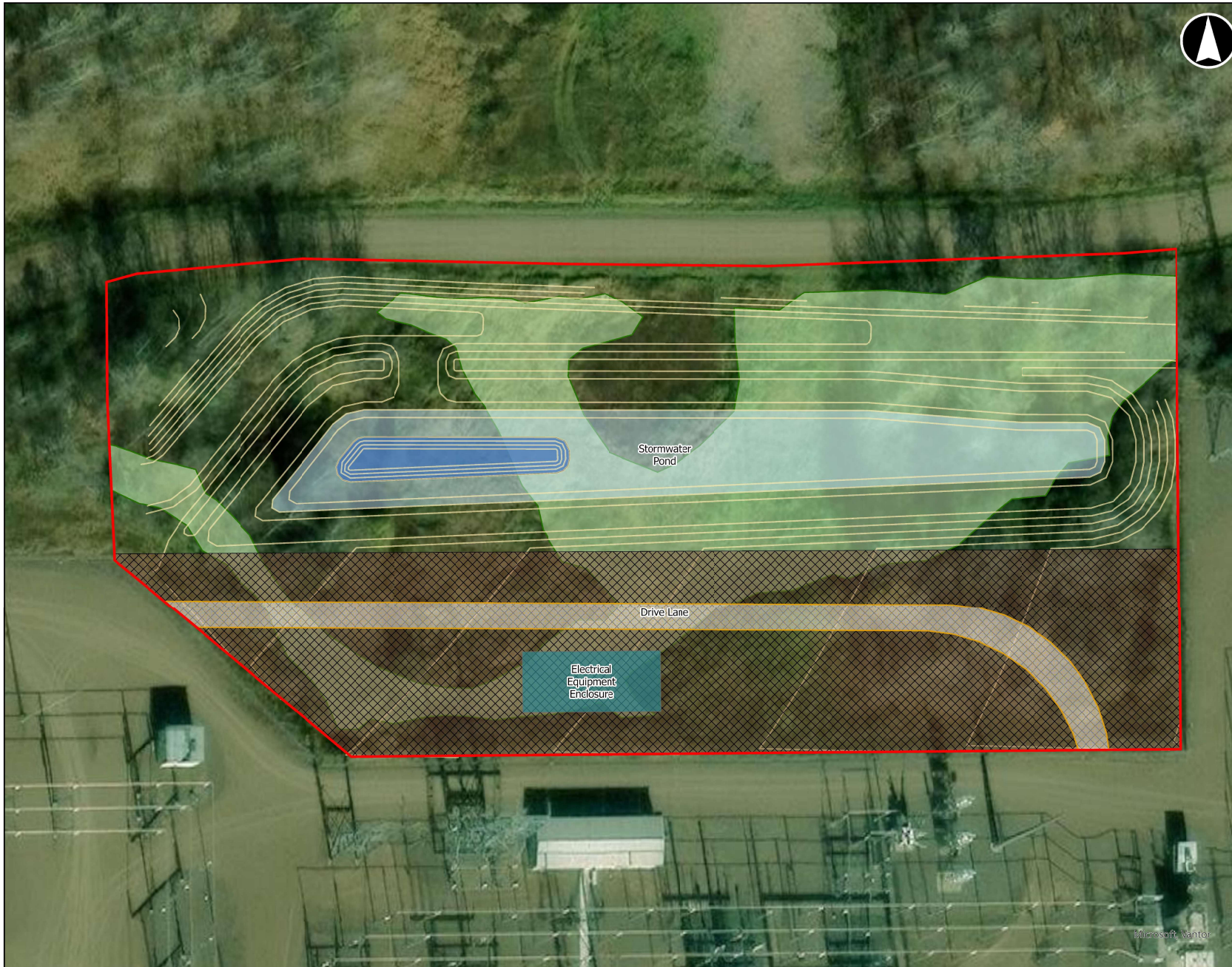
MN-DOT Route Centerlines - State of Minnesota GeoCommons - <https://gisdata.mn.gov/dataset/tras-roads-centerlines>
2019 Aerial Imagery - St. Louis County, MN (WMS) - <https://www.stlouiscountymn.gov/departments-a-z/planning-development/enterprise-gis/web-services>

Disclaimer

Map and/or data not appropriate for use in establishment of property boundaries, in property descriptions, or for any legal purposes, not appropriate for navigation, not for use by third parties.



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GS User Community, Microsoft, Vector



0 12.525 50 75 100 Feet

Scale 1:568
1 inch equals 47 feet

- Project Area Boundary
- Drive Lane
- Electrical Equipment Enclosure
- Substation Pad
- 1ft Grading Contours
- Wet Pond
- Stormwater Pond Capacity
- 2025 Wetland Delineation

Arrowhead Substation Expansion Map

Wetland Replacement Plan
Minnesota Power
Hermantown, MN
St. Louis County

Figure 5

Map Center Coordinates 15T 553844 5180341

Spatial Reference NAD 1983 UTM Zone 15N

Project Number 23329

Date Created 4/9/2026

Author M Kouffeld, Senior Ecologist

Data Source

MN-DOT Route Centerlines - State of Minnesota GeoCommons - <https://gisdata.mn.gov/dataset/tras-roads-centerlines>
2019 Aerial Imagery - St. Louis County, MN (WMS) - <https://www.stlouiscountymn.gov/departments-a-z/planning-development/enterprise-gis/web-services>

Disclaimer

Map and/or data not appropriate for use in establishment of property boundaries, in property descriptions, or for any legal purposes, not appropriate for navigation, not for use by third parties.

